



Aberdeenshire
COUNCIL



NLHF GRANT REFERENCE: PP-15-05717

ADEN BUILDING WORKS PROGRESS REPORT

COACH HOUSE & GARDENERS COTTAGE REFURBISHMENT

OCTOBER 2021 – NOVEMBER 2022

ADEN COUNTRY PARK, ABERDEENSHIRE AB42 8FQ

**WITH FUNDING SUPPORT FROM
NATIONAL LOTTERY HERITAGE FUND (NLHF) PARKS FOR PEOPLE PROGRAMME &
ABERDEENSHIRE COUNCIL**

**Complied by
Neil Shirran – Project Co-ordinator**

Introduction

As part of the Aden Restoration & Redevelopment National Lottery Heritage Fund (NLHF) Project this Aden Building Works Progress Report has been developed to support the regular NLHF reporting process. This mainly photographic report will help evidence the progress being made with this strand of the NLHF Project.

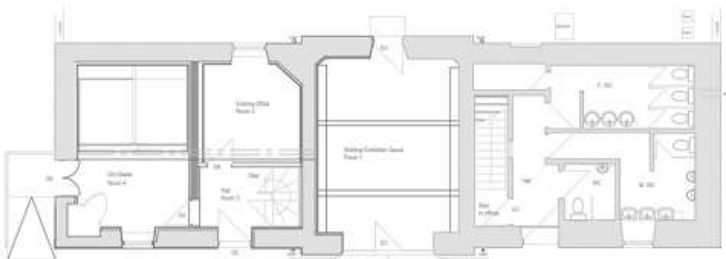
The building works are split into two main areas of development, the Coach House building which will form the new interpretation centre, and the Gardeners Cottage refurbishment, which after completion will be used by the Mintlaw Men Shed group. Some of the relevant architectural drawings have been included to this report to help illustrate the refurbishment plans.

Coach House:

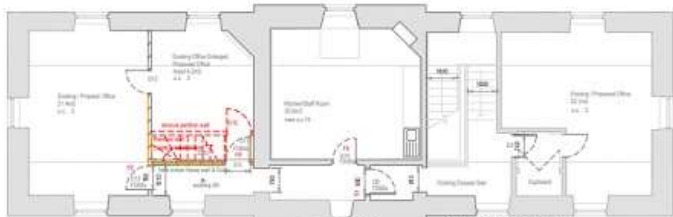


First Floor Plan Existing :

- Existing Doors on 1st Floor
- D9 - 830x1760x35mm
 - D10 - 770x1975x40mm
 - D11 - 850x1785x35mm
 - D12 - 760x1975x35mm (door to remain)
 - D13 - 850x1785x35mm
 - D8 - 745x2080x35mm



Ground Floor Plan Existing :

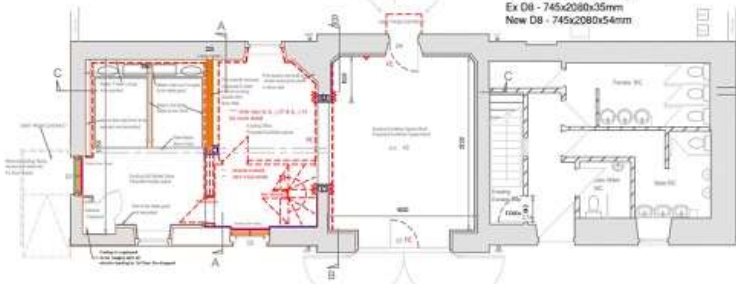


First Floor Plan - Proposed :

FE - FIRE EXIT -
 1st Floor - Luminated Fire Exit Signs to be positioned above Internal Room Side of door for D10, D11 & D13 and above Corner Side of D9
 Ground Floor - Luminated Fire Exit Signs to be positioned above Internal Room Side of door for D1 & D4, and above new opening to show the direction of Fire Exit

Existing Doors on first floor to be replaced with Fire Doors FD60sc overall door thickness 54mm - Door Frames will require to be replaced to suit new doors and facings replaced.

- Ex. D9 - 830x1760x35mm - New D9 - 830x1760x54mm
- Ex. D10 - 770x1975x40mm - New D10 - 770x1975x54mm
- Ex. D12 - Removed
- New D11 - 838x1981x54mm
- Ex. D13 - 850x1785x35mm - New D13 - 850x1785x54mm
- Ex. D8 - 745x2080x35mm - New D8 - 745x2080x54mm



Ground Floor Plan - Proposed :



Aden Country Park
 The Coach House 17/37 B (L)_02

Existing Plans scale bar
 110820

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The works are to comply with the Building Regulations and appropriate acts and amendments of Scotland - Current Edition July 2019

0.4.2 Conversion
 The Exhibition Space at Ground Floor Level is to be increased from 28m² to 65 m² to allow more exhibition space - There will be public Access where there previously there was none - The 1st Storey of the building is 3.4m above Ground Level

0.10
 All service connections must be properly isolated prior to the demolition of part walls and opening slippings. The state of the rest of the building must not be affected by the demolition work.

1.0.8
 The Certification of Design (Building Structures) is provided by David Narro Associates, Please refer to their drawings and specification for the design of structure

2.11.1
 A fire alarm system Category M should be installed in accordance with BS 5839 part 1 2017, 1st Floor Total Office Area 58m² the minimum fire resistance for compartmentation in Medium 2.1.13 the new structure is to be encased in 1 layer of 11mm Maggly to give 60 minutes fire protection - All junctions and gaps with existing walls to be filled with intumescent sealant to achieve the same - All in accordance with Maggly Instructions.

2.2.2 A separating floor should be provided between the exhibition space and the offices on first floor. This can be achieved by 1 layer of Maggly on a 38x50mm timber frame at 400mm c/c - All joints between ceilings and walls to be filled with intumescent sealant

2.10.2 Self Contained Emergency Luminaires should be installed.

2.10.3 Emergency lighting should be installed in accordance with BS5266:Part 1 2016 as read in association with BS EN 1838:2013

The Occupancy Capacity of the converted exhibition space is 65/1.5 = 43 persons

3.14.2 Offices on first floor to have trickle ventilators fitted to the head of the windows with an opening area of 400mm² for each square meter of room area.

4.2.8 Doors - D8, D9, D10, D11 & D13 are to be replaced with Self Closing 60min Fire Doors (FD60SC) to match existing width & heights - all to be 54mm thick

4.5.1 Electrical works should be designed, installed, tested and commissioned to comply with the 18th Edition of the BS7671 :2001ps

Rev C 30.10.21 Revision to Wall between stable / exhibition space, refer also to (L_) 07 & (L_) 10

Rev B 02/10/20 Reference to Dwg 18604-E63-02 for electrics & Doors Referenced to be FD60sc

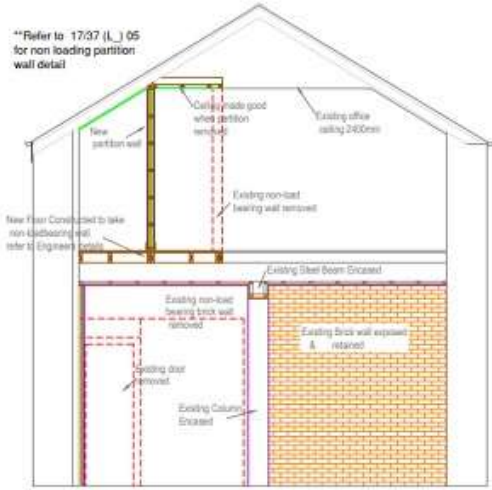
Rev A 18/09/20 Dimensions Added on 1st Floor / Notes Added 2.10.2, 2.10.3, 2.11.1, 4.5.1, 4.2.5

Aden Country Park
 The Coach House 17/37 B (L)_03 C

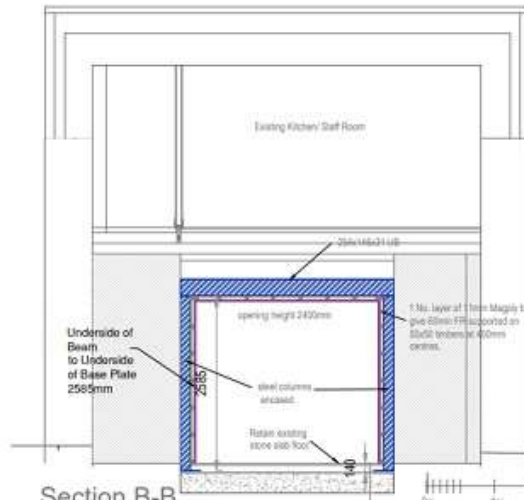
Proposed Plans scale bar
 30/10/21

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**Refer to 17/37 (L)_05 for non loading partition wall detail



Section A-A



Section B-B

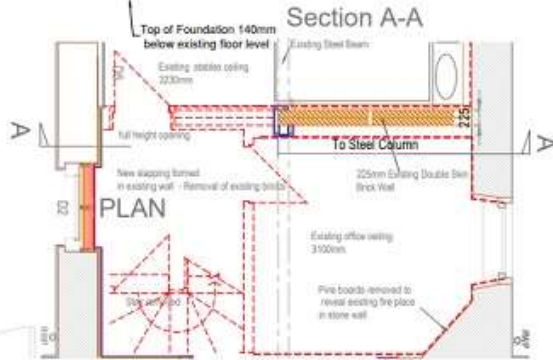
**Refer to David Nairn Associates Drawings for Structural Design and Specification 15.1154 SK 101 and SK102

Rev C 30/10/21 - Section AA - Steel work removed / Detail Amended
Rev B 14/10/21 - Column Details Changed/ dimensions added
Rev A 21/09/20 - Fire protection 11mm Magply to give 60min

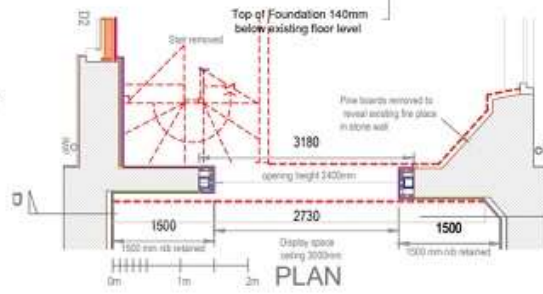
Do not use water immersion test for the stone. All stone work to be certified and approved to the BS 84-2000 standard for the stone. The stone must be tested to the following table in duplicate. All stone work to be tested to the BS 84-2000 standard. The stone to be used in construction with all water courses. Proprietor shall provide details and material certificate.

Aden Country Park
The Coach House 17/37 B (L)_04 C
Sections AA & BB
Construction 30/10/21
scale bar

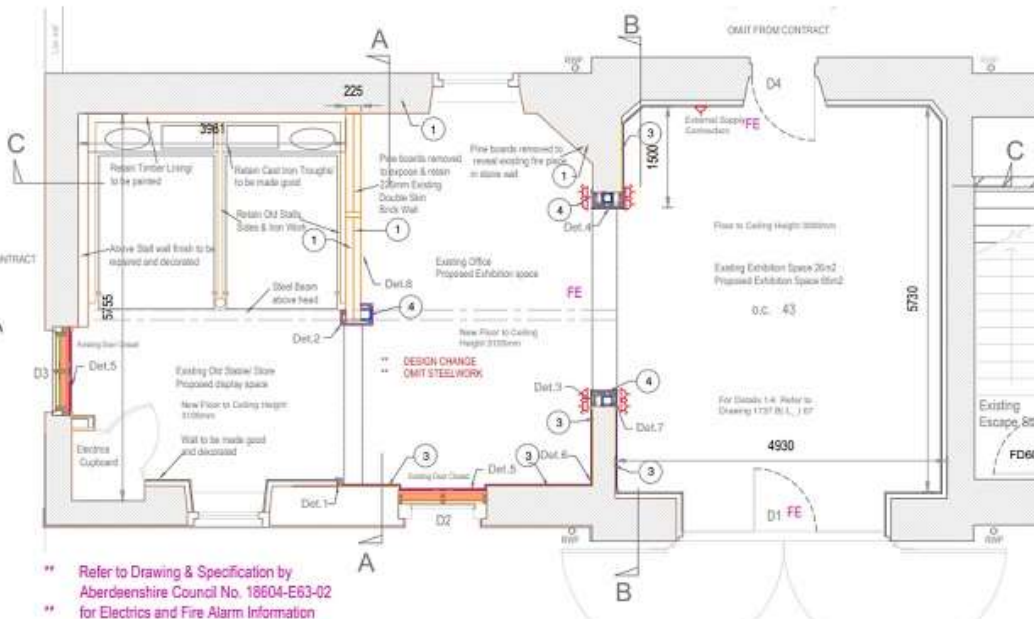
JRA John Penrose Architects
10 Constitution Street, Leith, Edinburgh, EH6 4RP
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PLAN



PLAN



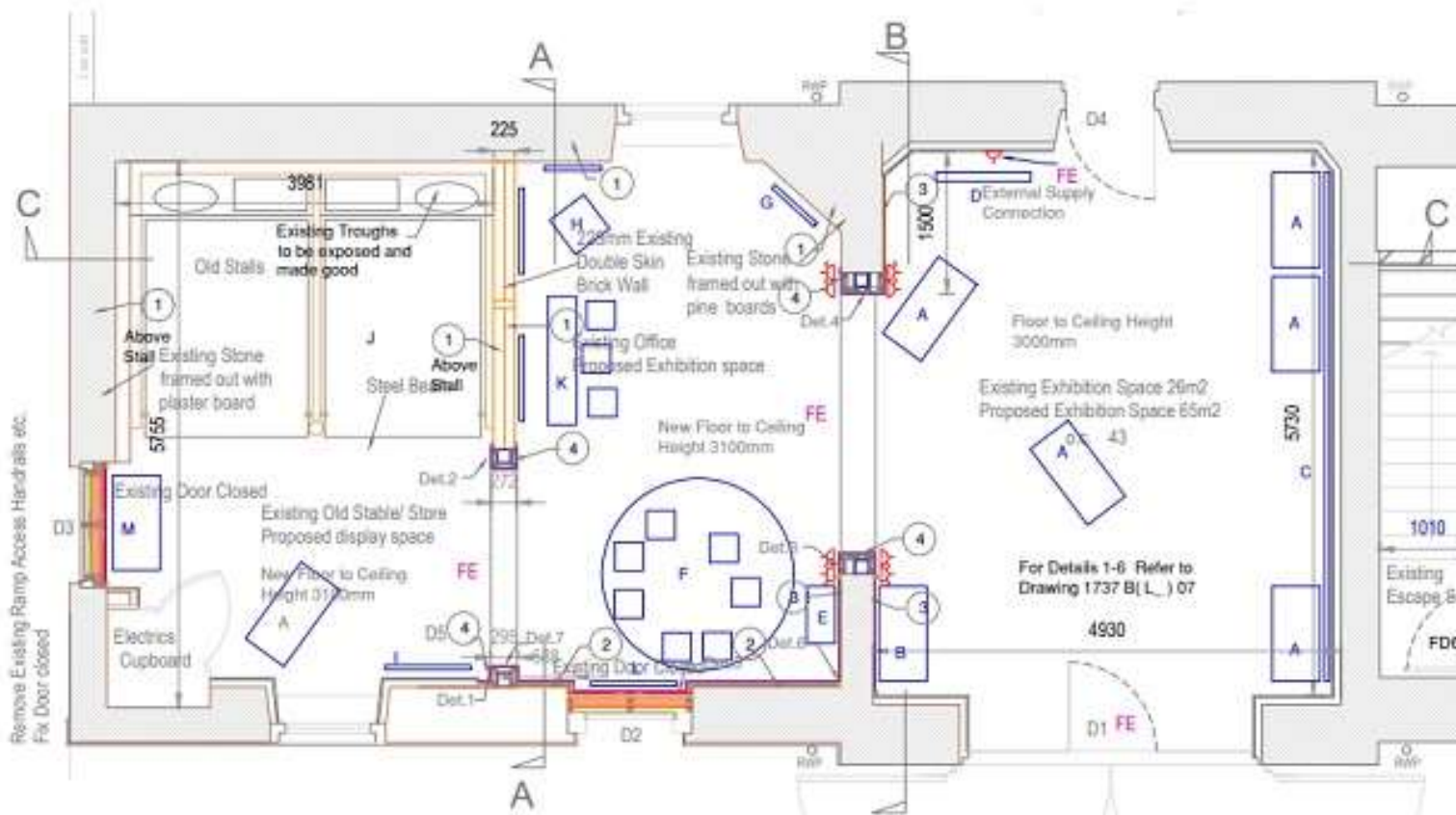
Ground Floor Plan - Proposed :

- Key to Wall & Ceiling Finishes**
- Stone & Brick Wall Left Exposed :
Stone/Brick to be brushed with a soft bristle/nylon brush.
Conciliate walls by painting with Pure Silicate PS1 (Clear) - Let it soak in to a reasonable depth - paint several coats.
 - Stone Wall - to be brushed with a soft bristle/nylon brush.
Apply Lime Green Duro Lime Green Render Base Coat - to ensure a completely level surface - Approx 10mm Allow to Dry - Apply Warmshot Board Adhesive - Fix 40mm square edge boards - Apply 2 passes of 6mm Lime Green Solo Plaster with Lime Green 454 mesh between passes.
 - Stone Wall - to be brushed with a soft bristle/nylon brush.
Apply Lime Green Duro Lime Green Render Base Coat - to ensure a completely level surface - Approx 10mm Allow to Dry - Apply 2 passes of 6mm Lime Green Solo Plaster with Lime Green 454 mesh between passes.
 - Columns encased :
in 11mm magply on 50x50mm timber stud framing.
All joints filled with intumescent filler.
Magply finished with Silicate MPL1 - wall 1 day
Apply 2 passes of 4mm Solo Plaster (Lime Green) with Lime Green 454 mesh between passes
- Rev A 24/02/20 Exhibition Sketch into added
Rev B 02/10/21
Rev C 30/10/21 Steel Work Deleted between Stables & Exhibition / Wall finishing amended

Do not use water immersion test for the stone. All stone work to be certified and approved to the BS 84-2000 standard for the stone. The stone must be tested to the following table in duplicate. All stone work to be tested to the BS 84-2000 standard. The stone to be used in construction with all water courses. Proprietor shall provide details and material certificate.

Aden Country Park
The Coach House 17/37 B (L)_10 C
Proposed Plan / Details
Scale 1:50
Construction 30/10/21

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- Key to Wall & Ceiling Finishes**
- Stone & Brick Wall Left Exposed :**
Stone/Brick to be brushed with a soft bristle/nylon brush.
Consolidate walls by painting with Pure Silicate PS1 (Clear) - Let is soak in to a reasonable depth - paint several coats.
 - Stone Wall** to be brushed with a soft bristle/nylon brush.
Apply Lime Green Duro Lime Green Render Base Coat - to ensure a completely level surface - Approx 10mm Allow to Dry - Apply Warmshell Board Adhesive - Fix 40mm square edge boards - . Apply 2 passes of 6mm Lime Green Solo Plaster with Lime Green 454 mesh between passes.
 - Stone Wall** to be brushed with a soft bristle/nylon brush.
Apply Lime Green Duro Lime Green Render Base Coat - to ensure a completely level surface - Approx 10mm Allow to Dry - Apply 2 passes of 6mm Lime Green Solo Plaster with Lime Green 454 mesh between passes.
 - Columns encased :**
in 11mm maggy on 50x50mm timber stud framing.
All joints filled with intumescent filler. Maggy finished with Silicate MPL1- wait 1 day Apply 2 passes of 4mm Solo Plaster (Lime Green) with Lime Green 454 mesh between passes

Rev A 240620 Exhibition Sketch info added
Rev B 02/10/20
** Refer to Drawing & Specification by Aberdeenshire Council No. 18604-E63-02 for Electrics and Fire Alarm Information

Should use correct dimensions for the drawing. All dimensions are to be quoted with units as shown on the right-hand side of the drawing. The responsibility of any discrepancy or error shall remain with the client or for the information provider. No responsibility shall be taken for the accuracy of the information. This drawing is to be used for construction only. All other drawings, drawings and specifications shall be referred to the relevant drawing.

Client:	Aden Country Park
Project:	The Coach House
Drawing No:	17:07 B (L) 10 B
Drawing:	Proposed Plan / Details
Scale:	1:50
Date:	20/20/2020

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Ground Floor Plan - Proposed :

- Artefacts identified through Museum Service and Friends of Aden Group
- Display Cabinet - when temporary exhibitions are on content will change
- Large Wall Panel Display- large scale map graphic of the estate from 1700s including brief introductory text of overarching theme
- Free standing monolithic display - The Russell Family
- TV monitor - film providing historical information but focused primarily on current archaeological digs
- Seating Stools - crafted on site providing viewing area of film within a defined circular area
- Free standing monolithic display - site archaeology and walking routes
- 360 view of Museum in prominent taster worthy of exploration
- Free Standing monolithic display - temporary exhibition area. Permanent panel to house Estate Workers and memories
- Former stable area with plan view of horses shown on the floor in one bay. Wall mounted sign describing period when this area was in use and horse collar mounted on display
- Table and stools enabling children's activity drawing area
- Free standing monolithic display - Pitfour Estate connections , grandeur and rivalry explored
- Display Cabinet - recent archaeological finds
- Notice board for current events/ What's on information - In Toilets Entrance Hall

Building Works – October to November 2021

Coach House – New Interpretation Centre





















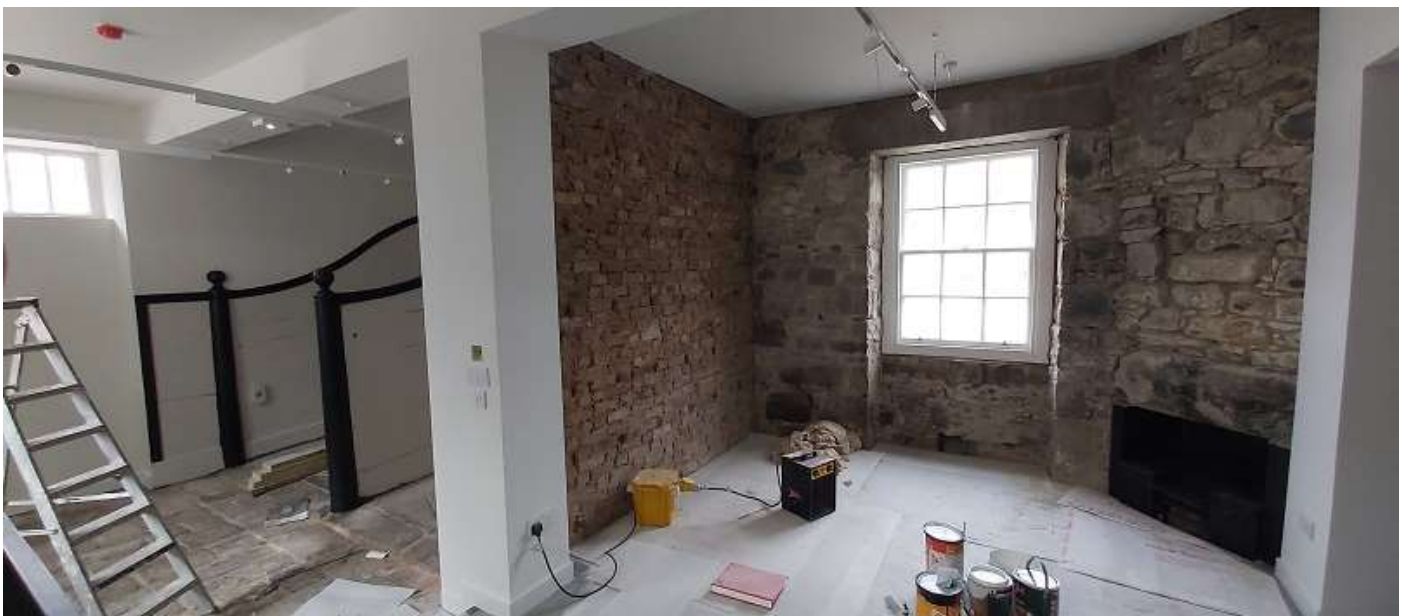


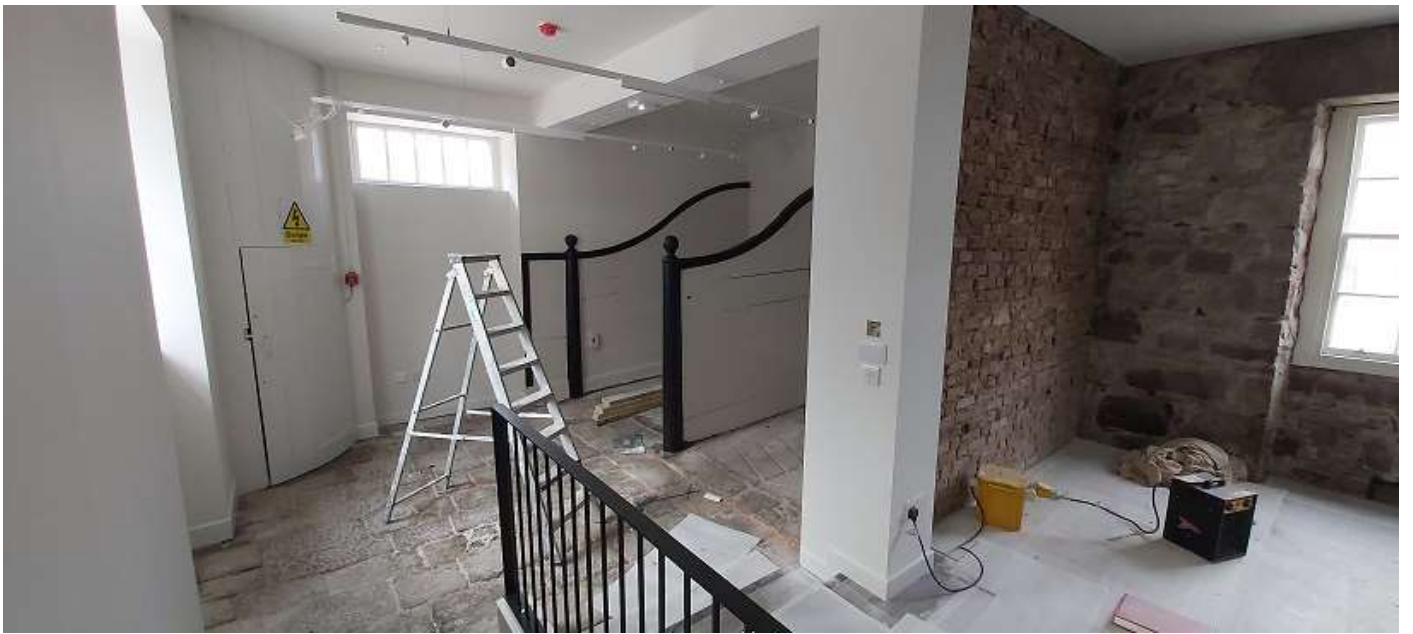


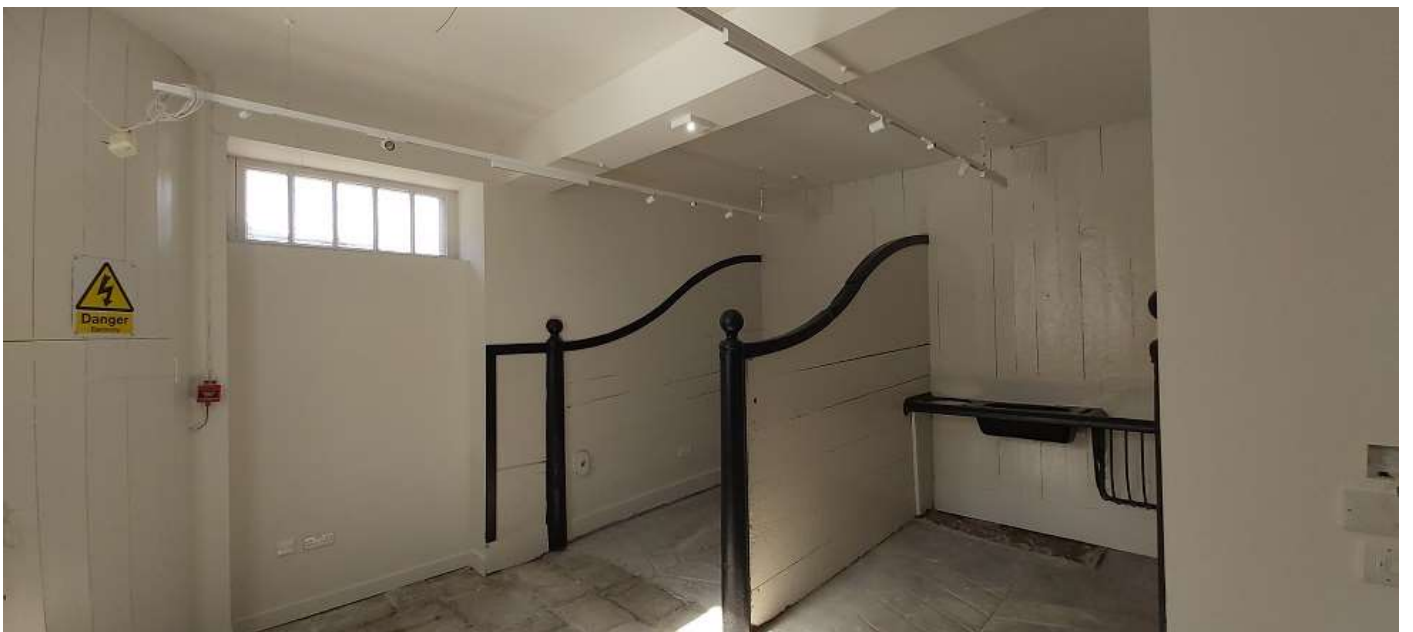
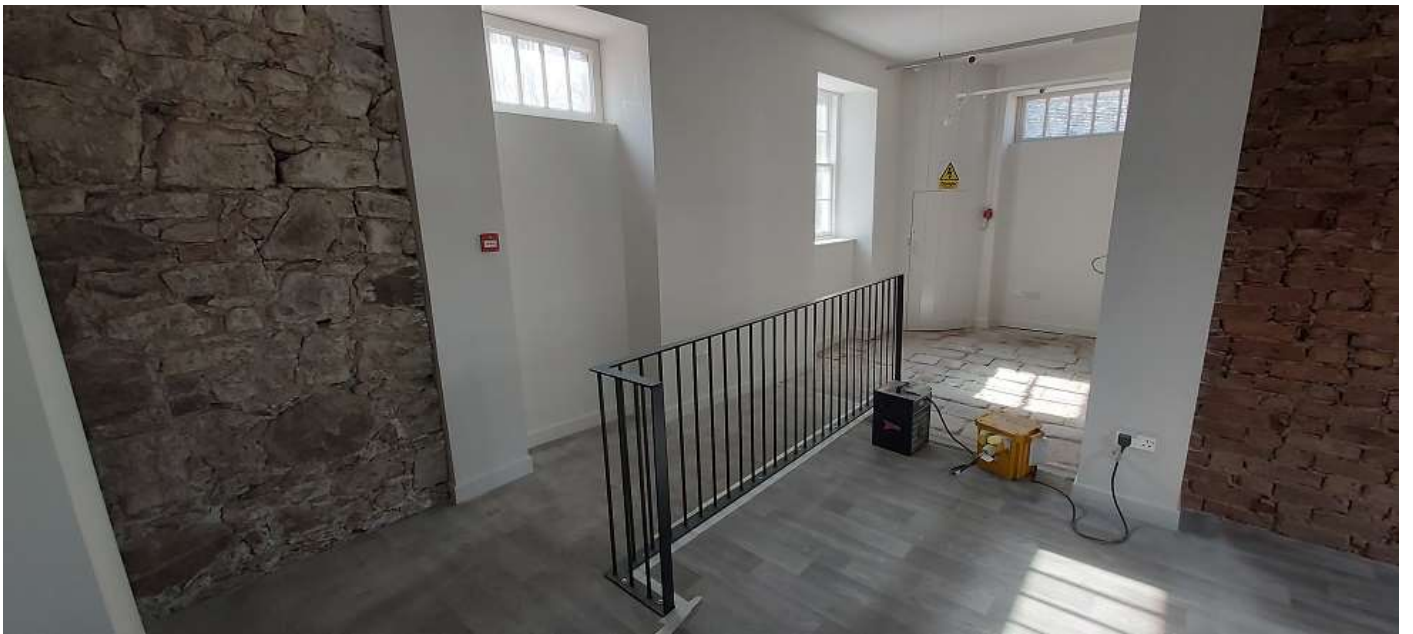






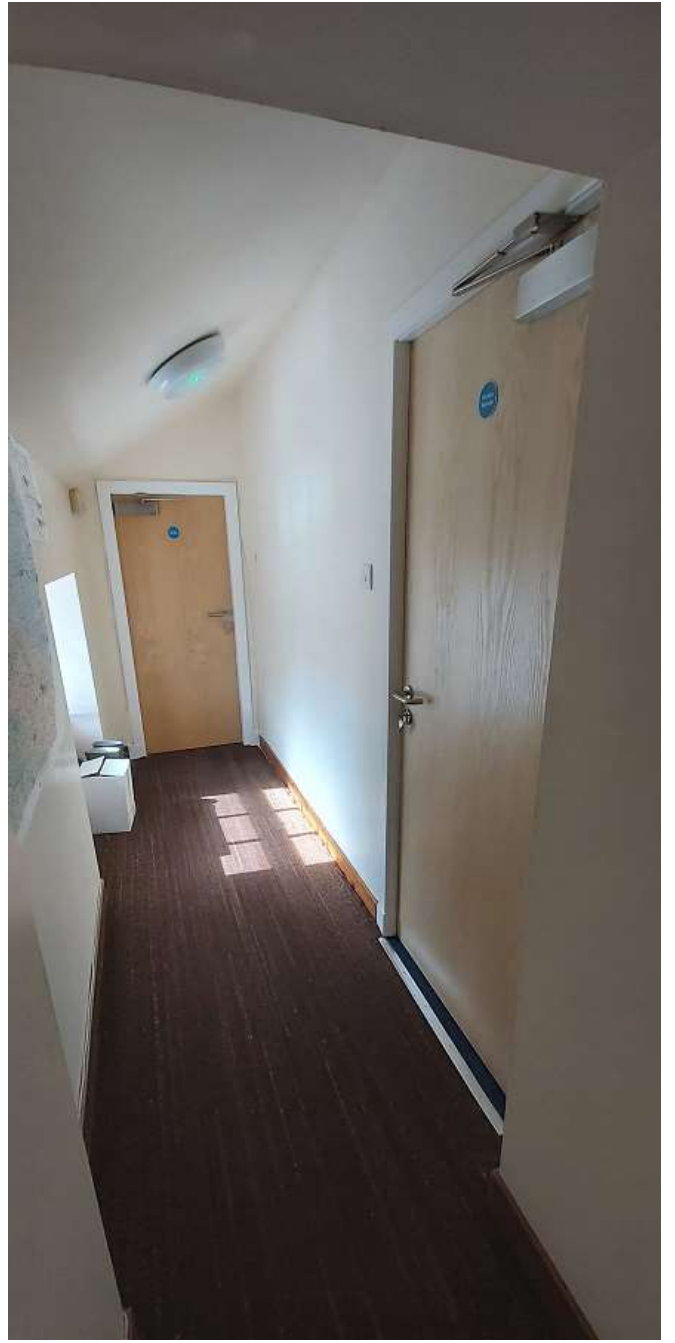






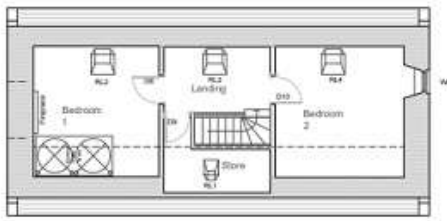




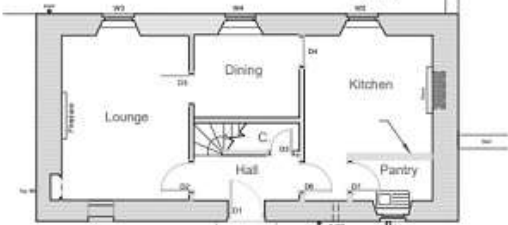




Gardeners Cottage



First Floor Plan Existing:



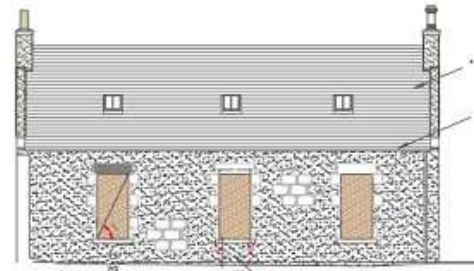
Ground Floor Plan Existing:



Existing North Elevation:

***Refer to Planning Statement for photos of Existing Cottage
All windows and doors are boarded up and the building requires restoration.

- ** Existing Slate Roof to be overhauled and retained
 - ** Existing upvc gutters and down pipes to be replaced with cast iron RAL 7016
- All windows and door - boarding to be removed and new windows and door manufactured and installed



Existing South Elevation:

W4 - opening to be created allow an exit door to south

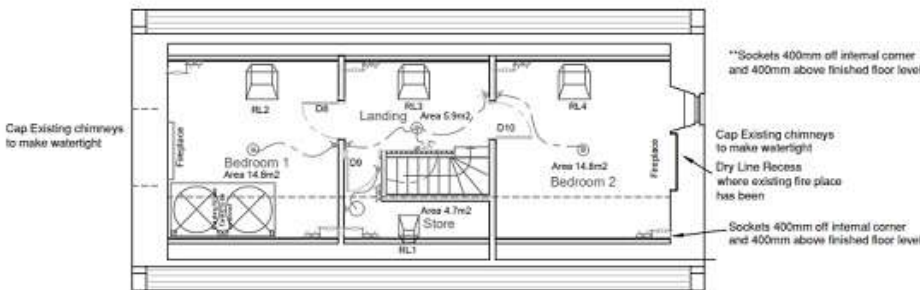
- ** Existing Slate Roof to be overhauled and retained
- ** Existing upvc gutters and down pipes to be replaced with cast iron RAL 7016

A 05/08/19 Windows numbered

Do not use marked dimensions from this drawing. All dimensions are to be confirmed in situ by the contractor before the commencement of any other work on site. All dimensions shall be subject to the contractor's discretion. All dimensions shall be subject to the architect's discretion. The drawing is to be used for the construction of the building. It is not to be used for any other purpose. It is not to be used for any other purpose.

Client	Aberdeenshire Council, Aden Country Park
Location	1737 A (L-) 02 B
Project Name	Gardener's Cottage
Existing Plans & Elevations	1:100 & A3
Construction	19/08/21

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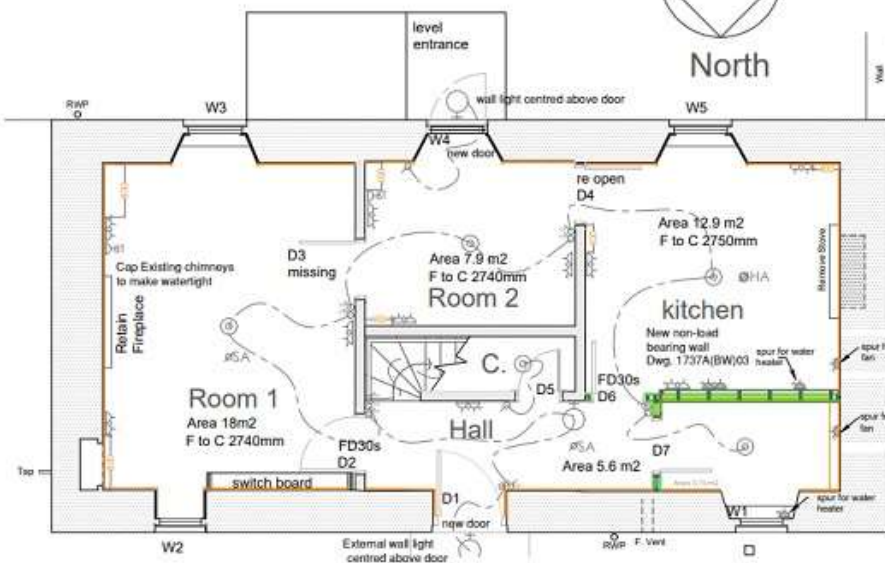


Cap Existing chimneys to make watertight

**Sockets 400mm off internal corner and 400mm above finished floor level

Cap Existing chimneys to make watertight
Dry Line Recess where existing fire place has been

Sockets 400mm off internal corner and 400mm above finished floor level



COST - Additional Lining - Internal of External Walls - Orange Line - Length 23,439mm - F to C Height 2750mm - Area 64.5m²

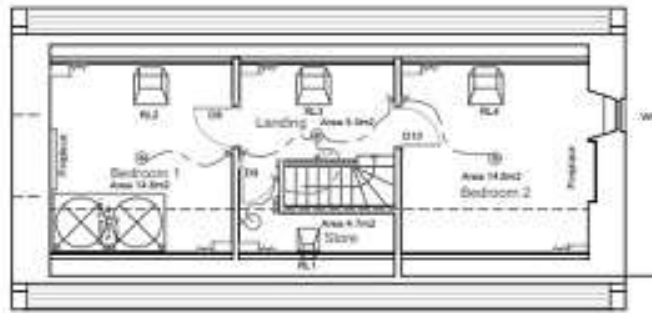
RE-COST - New Partition Wall & Doors in Pantry/ Kitchen
75x38mm timber studs at 400mm c/c to form new partition wall with 15mm fireline board fixed either side to give 60mins fire resistance. 3mm skim coat 25mm isover insulation fixed in the centre. 50x38mm timber stud wall finished with 12mm plywood to create a service duct

Cap Existing chimneys to make watertight

Do not use marked dimensions from this drawing. All dimensions are to be confirmed in situ by the contractor before the commencement of any other work on site. All dimensions shall be subject to the contractor's discretion. All dimensions shall be subject to the architect's discretion. The drawing is to be used for the construction of the building. It is not to be used for any other purpose. It is not to be used for any other purpose.

Client	Aberdeenshire Council, Aden Country Park
Location	1737 A (A) J07
Project Name	Gardener's Cottage
Proposed Plans	1:50 / 1:100 & A3
Tender	25/10/21

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First Floor Plan Proposed:



Proposed North Elevation:

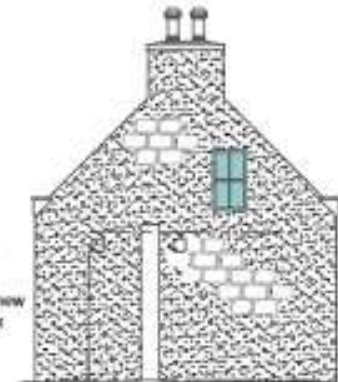
North Door replaced refer to dwg. 17/37A (A-) 02

Existing / Proposed East Elevation:



Proposed South Elevation:

South Door refer to dwg. 17/37 A (A-) 03



West Elevation:

Rev B 29/10/21 - Electrica to be re costed

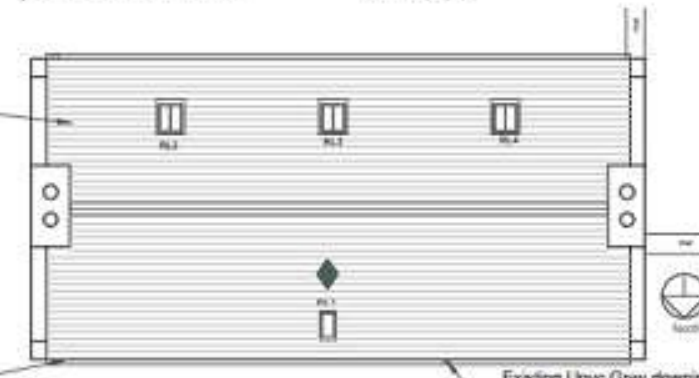


Ground Floor Plan Proposed:

Refer to (A) 07 for larger scale plan

Refer to 17/37(A-) 05 for Rooflight and Gutter Details

Existing Upvc Grey gutters replaced with new Alumasc Rainwater-Apex Heritage Hall Round Profile 100mm colour RAL 7016



Existing / Proposed Roof Plan

Existing Upvc Grey downpipe replaced with new Alumasc Rainwater- Apex Heritage Round 63mm colour RAL 7016

This drawing is to be used in conjunction with the drawings. All dimensions are to be verified and checked for accuracy by the contractor before any work commences. All dimensions are to be taken from the finished face of the work unless otherwise stated. The drawing is to be used in conjunction with all other drawings. Engineer to be approved drawings and materials submitted.

Client: Aberdeenshire Council, Arden Country Park
 Project: Gardener's Cottage
 Drawing No: 17/37 A (L-) 03 B
 Proposed Plans & Elevations/Roof Plan
 Scale: 1:100 & A3
 Issue Date: 29/10/21
 Construction: 29/10/21

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Building Works – October to November 2021

Gardeners Cottage













































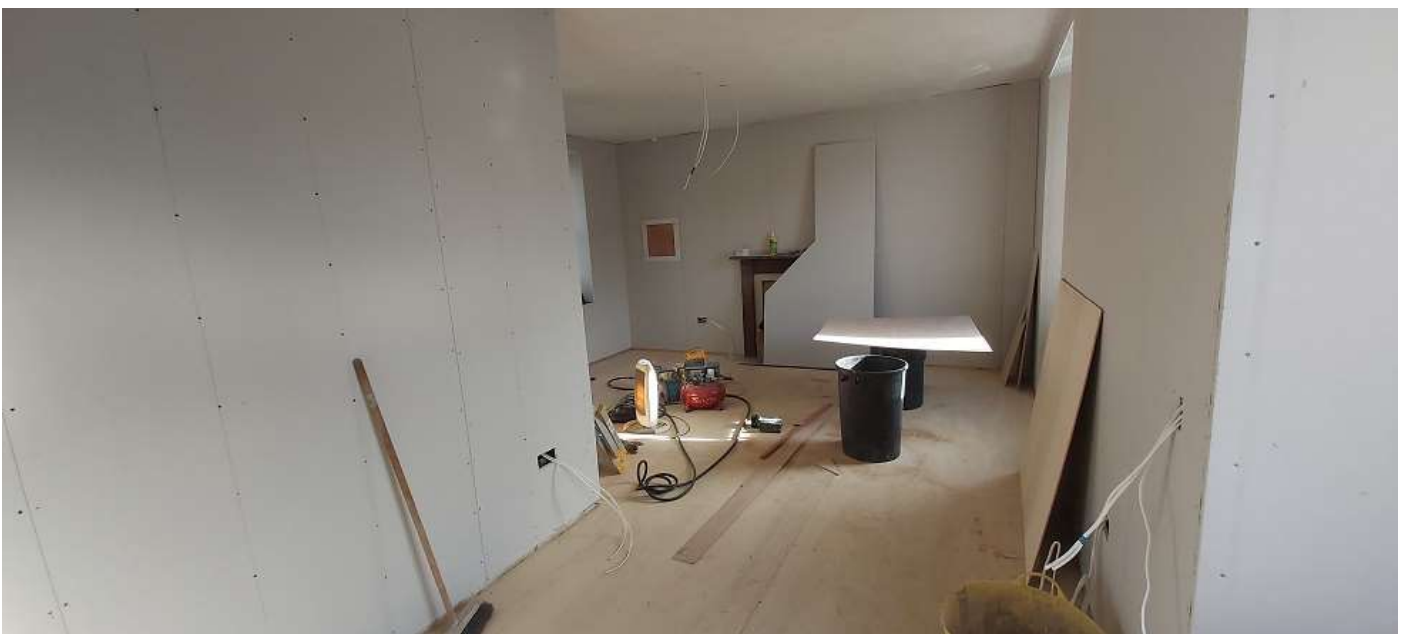




































Mintlaw Men Shed Group Work

As the NLHF budget could only stretch so far, the Mintlaw Men Shed group agreed to take on some of the outstanding work. This included the installation of the donated toilet and wash hand basin, along with the installation of a donated kitchen, and purchased water heater.

